

PROPOSED INDUSTRIAL FACILITY  
300 Manchester Road, Auburn NSW



Drawing List

Masterplans

MP00	Cover Sheet & Location
MP01	Masterplan
MP02	Site Plan
MP03	Site Analysis Plan
MP04	Vehicle & Pedestrian Movement Plan
MP05	Signage Plan
MP06	Construction Staging Plan
MP07	Sub-Division Plan
MP11	Shadow Diagram - 9am 21st June
MP12	Shadow Diagram - Noon 21st June
MP13	Shadow Diagram - 3pm 21st June

Building 1

DA10	Building 1 - Basement Floor Plan
DA11	Building 1 - Site & Warehouse Floor Plan
DA12	Building 1 - Roof Plan
DA13	Building 1 - Warehouse Elevations
DA14	Building 1 - Warehouse Sections
DA15	Building 1 - Hub - Basement & Ground Floor Plan
DA16	Building 1 - Hub - First Floor Plan
DA17	Building 1 - Hub Elevations
DA18	Building 1 - Warehouse 02 Office Plans & Elevations
DA18-1	Building 1 - Warehouse 03 Office Plans & Elevations
DA18-2	Building 1 - Warehouse 04 Office Plans & Elevations

Building 2

DA20	Building 2 - Site & Warehouse Floor Plan
DA21	Building 2 - Roof Plan
DA22	Building 2 - Warehouse Elevations - Sheet 1
DA23	Building 2 - Warehouse Elevations - Sheet 2
DA24	Building 2 - Warehouse Sections
DA25	Building 2 - Warehouse 05 Office Plans & Elevations
DA26	Building 2 - Warehouse 06 Office Plans & Elevations
DA27	Building 2 - Warehouse 07 Office Plans & Elevations

Building 3

DA30	Building 3 - Site & Warehouse Floor Plan
DA31	Building 3 - Roof Plan
DA32	Building 3 - Warehouse Elevations - Sheet 1
DA33	Building 3 - Warehouse Elevations - Sheet 2
DA34	Building 3 - Warehouse Sections
DA35	Building 3 - Typical Office Plans & Elevations
DA36	Building 3 - Warehouse 11 Office Plans & Elevations

Building 4

DA40	Building 4 - Site & Warehouse Floor Plan
DA41	Building 4 - Roof Plan
DA42	Building 4 - Warehouse Elevations
DA43	Building 4 - Warehouse Sections
DA44	Building 4 - Warehouse 12 Office Plans & Elevations
DA45	Building 4 - Warehouse 13 Office Plans & Elevations
DA46	Building 4 - Warehouse 14 Office Plans & Elevations

Building 5

DA50	Building 5 - Site & Warehouse Floor Plan
DA51	Building 5 - Roof Plan
DA52	Building 5 - Warehouse Elevations
DA53	Building 5 - Warehouse Sections
DA54	Building 5 - Typical Office Plans & Elevations

Building 6

DA60	Building 6 - Site & Warehouse Floor Plan
DA61	Building 6 - Roof Plan
DA62	Building 6 - Warehouse Elevations
DA63	Building 6 - Warehouse Sections
DA64	Building 6 - Typical Office Plans & Elevations

Site

DA70	Site Sections
DA71	Boundary Section







PROPOSED INDUSTRIAL FACILITY

300 MANCHESTER ROAD, AUBURN



DRAWING TITLE  
MASTERPLAN

DATE 03.10.19	SCALE 1:1250@A1 1:2500@A3	JOB NO. 18164	DRAWING NO. MP01	B
------------------	---------------------------------	------------------	---------------------	---



**Legend**

- Existing Boundary Line
- Proposed Boundary Line
- Existing Stormwater Line
- 4.5m Landscape Setback Line
- Easement Boundary Line
- FNC-1 2.4m High Palisade Fence
- FNC-2 2.4m High Chain Mesh Fence
- 1.8m High Noise Wall to Western Boundary
- Stage 1 (buildings 1 to 4)
- Stage 2 (buildings 5 & 6)
- Provisional Carspaces
- Planting shown as indicative only. Refer to Landscape Drawings for Landscape and Planting Details.

DEVELOPMENT AREA SCHEDULE	
Site 1 Area	129,868 m <sup>2</sup>
Site 2 Area	10,735 m <sup>2</sup>
Road Dedication Area	626 m <sup>2</sup>
<b>Total Site Area</b>	<b>141,229 m<sup>2</sup></b>
Stage 1 - Warehouse (buildings 1 to 4)	44,575m <sup>2</sup>
Stage 1 - Office	4,355m <sup>2</sup>
Stage 1 - Hub (3 level office + cafe)	900m <sup>2</sup>
<b>Stage 1 - Total Building Area</b>	<b>49,830m<sup>2</sup></b>
Stage 2 - Warehouse (buildings 5 & 6)	20,195m <sup>2</sup>
Stage 2 - Office	2,600m <sup>2</sup>
<b>Stage 2 - Total Building Area</b>	<b>22,795m<sup>2</sup></b>
<b>Total Warehouse Area (buildings 1 to 6)</b>	<b>64,770m<sup>2</sup></b>
<b>Total Office &amp; Hub</b>	<b>7,855m<sup>2</sup></b>
<b>Total Building Area</b>	<b>72,625m<sup>2</sup></b>
Site Coverage (excludes awnings)	56 %
Floor space Ratio	0.56 : 1
Awnings	8,475m <sup>2</sup>
Hardstand Area	37,855m <sup>2</sup>
Light Duty Area	14,630m <sup>2</sup>
Landscape Area (12,051m <sup>2</sup> includes noise easement)	9 %
Carparking Provided - Stage 1 (inclusive of 13 disable spaces)	332
Carparking Provided - Stage 2 (inclusive of 13 disable spaces)	139
Carparking Provided - Basement Stage 1 (inclusive of 1 disable spaces)	41
Carparking Provided - Basement Stage 2	45
Carparking Provided - Provisional	39
<b>Total Carparking Provided (inclusive of 27 disable spaces &amp; 39 provisional spaces)</b>	<b>596</b>

DRAWING TITLE  
**SITE PLAN**

DATE 03.10.19  
SCALE 1:1000@A1  
1:2000@A3  
JOB NO. 18164  
DRAWING NO. MP02  
D

PROPOSED INDUSTRIAL FACILITY

300 MANCHESTER ROAD, AUBURN

**SBA ARCHITECTS**  
commercial industrial residential interior fit-out design  
Suite 702, 83 Mount Street, North Sydney NSW 2060  
02 9629 9933 02 9629 1134  
E info@sbaa.com.au W www.sbaa.com.au  
Version: 1, Version Date: 02/03/2020



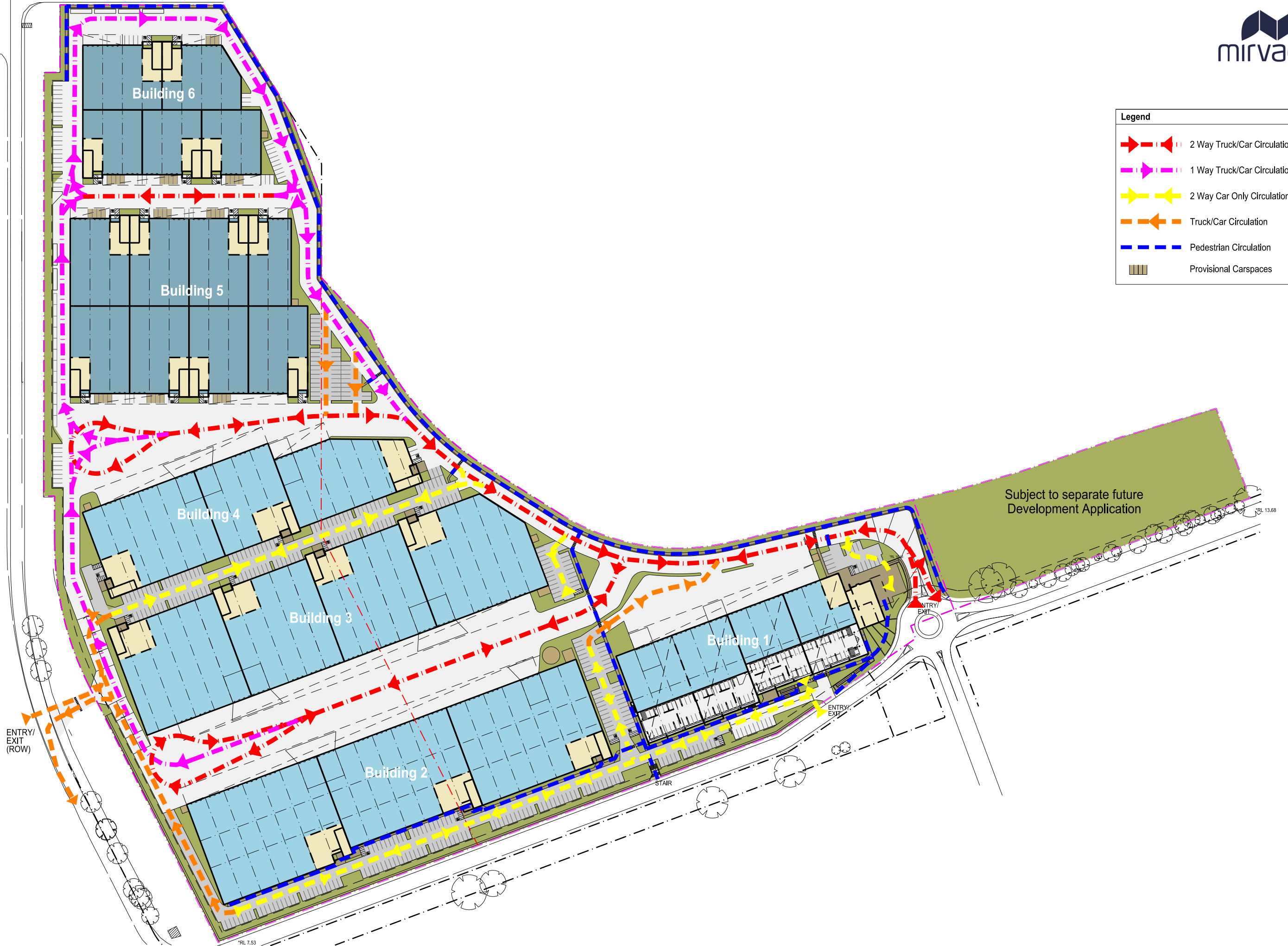


	Existing Boundary Line
	Proposed Boundary Line
	Existing Stormwater Line
	4.5m Landscape Setback Line
	Existing Noise Wall (north/east boundary) and Easement
	Subject Site



**Legend**

- 2 Way Truck/Car Circulation
- 1 Way Truck/Car Circulation
- 2 Way Car Only Circulation
- Truck/Car Circulation
- Pedestrian Circulation
- Provisional Carspaces



# PROPOSED INDUSTRIAL FACILITY

300 MANCHESTER ROAD, AUBURN



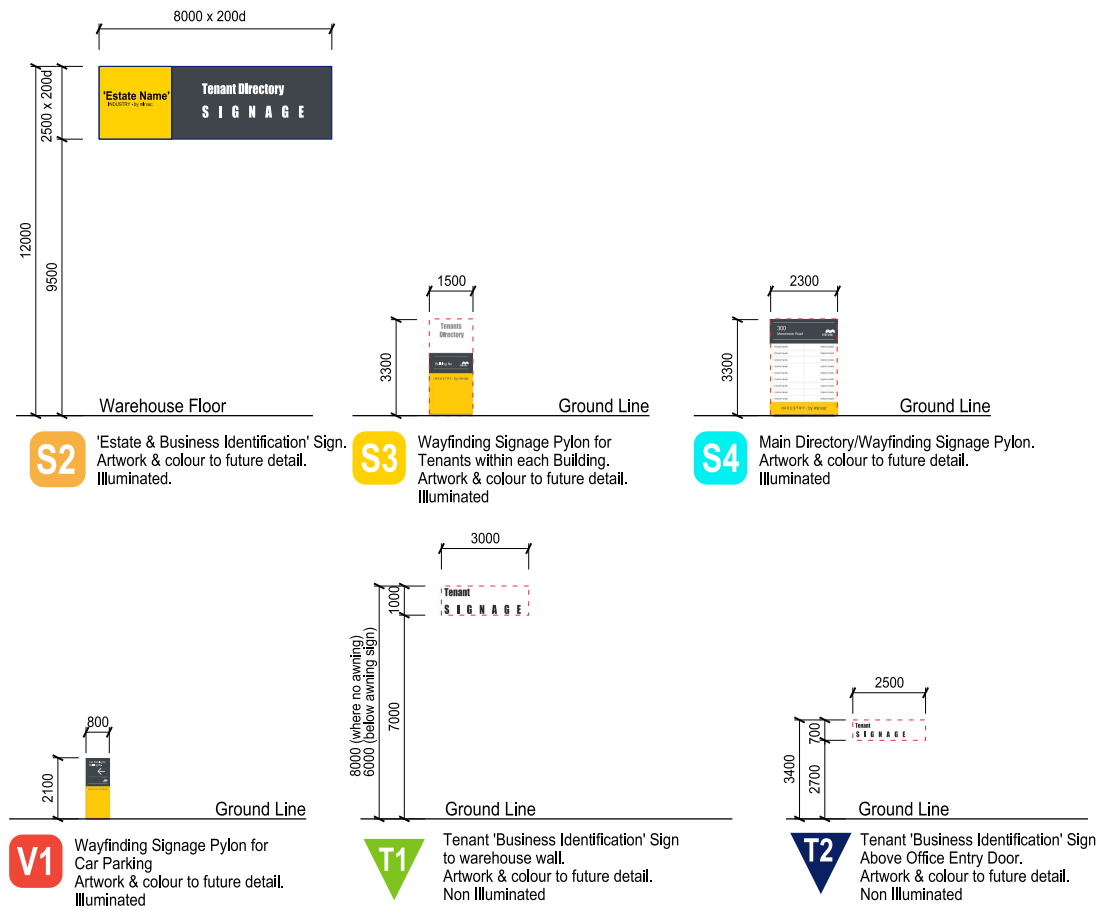
DRAWING TITLE  
VEHICLE & PEDESTRIAN  
MOVEMENT PLAN

DATE 03.10.19 SCALE 1:1000@A1 1:2000@A3 JOB NO. 18164 DRAWING NO. MP04

B

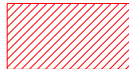
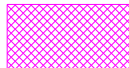
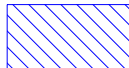
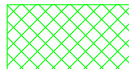


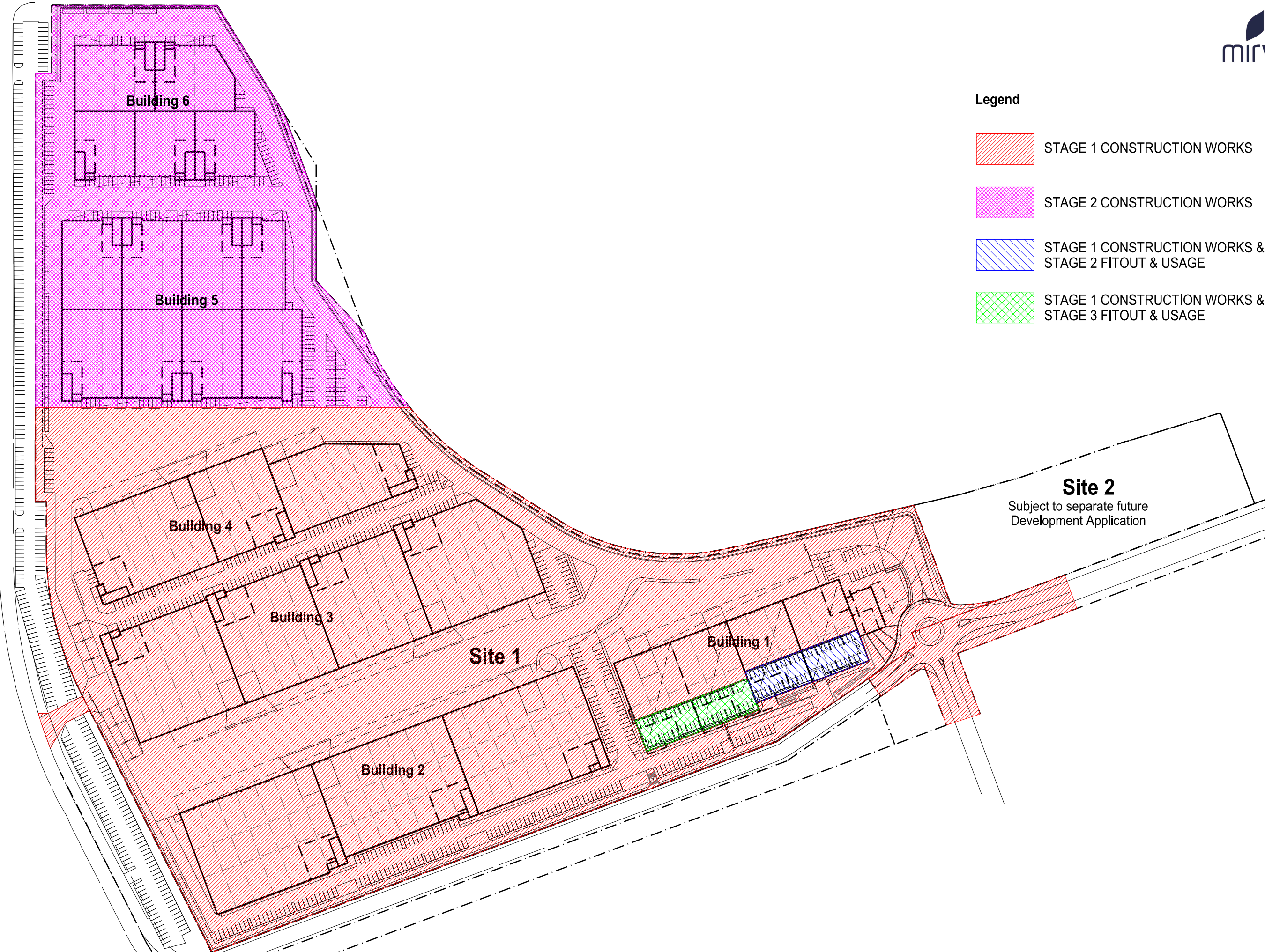






Legend

-  STAGE 1 CONSTRUCTION WORKS
-  STAGE 2 CONSTRUCTION WORKS
-  STAGE 1 CONSTRUCTION WORKS & STAGE 2 FITOUT & USAGE
-  STAGE 1 CONSTRUCTION WORKS & STAGE 3 FITOUT & USAGE





Legend

 LOT 1

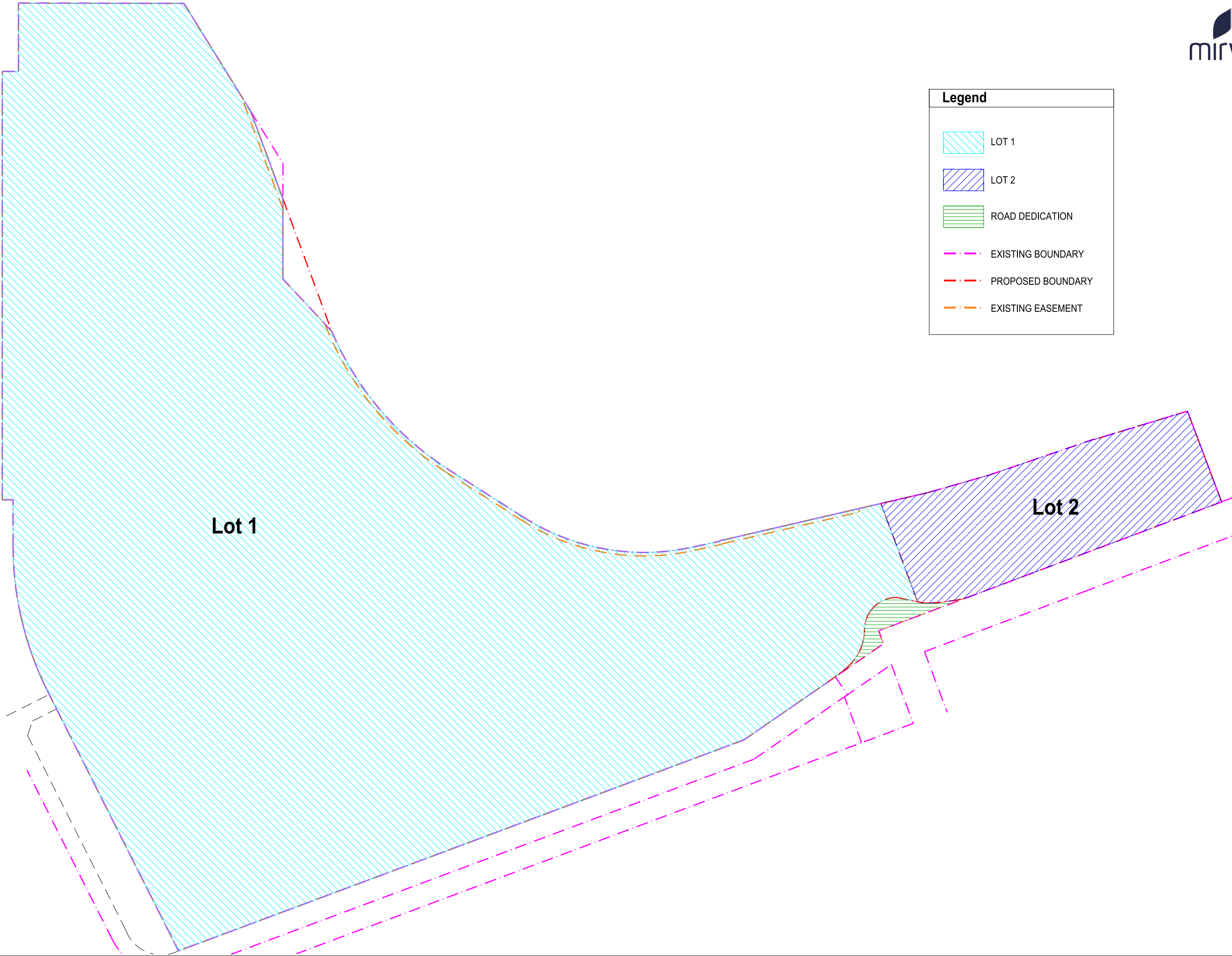
 LOT 2

 ROAD DEDICATION

 EXISTING BOUNDARY

 PROPOSED BOUNDARY

 EXISTING EASEMENT



Lot 1

Lot 2

P R O P O S E D I N D U S T R I A L F A C I L I T Y

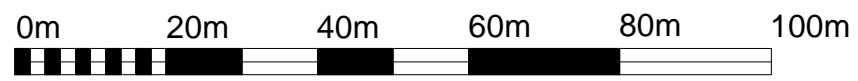
3 0 0 M A N C H E S T E R R O A D , A U B U R N







LEGEND:  
- - - - - BOUNDARY LINE  
- - - - - SHADOW OUTLINE



VISUAL SCALE 1:1000 @ A1 / 1 : 2000 @ A3



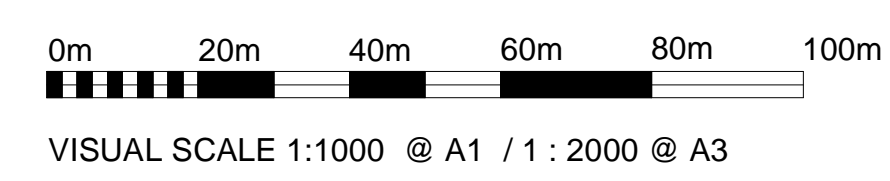
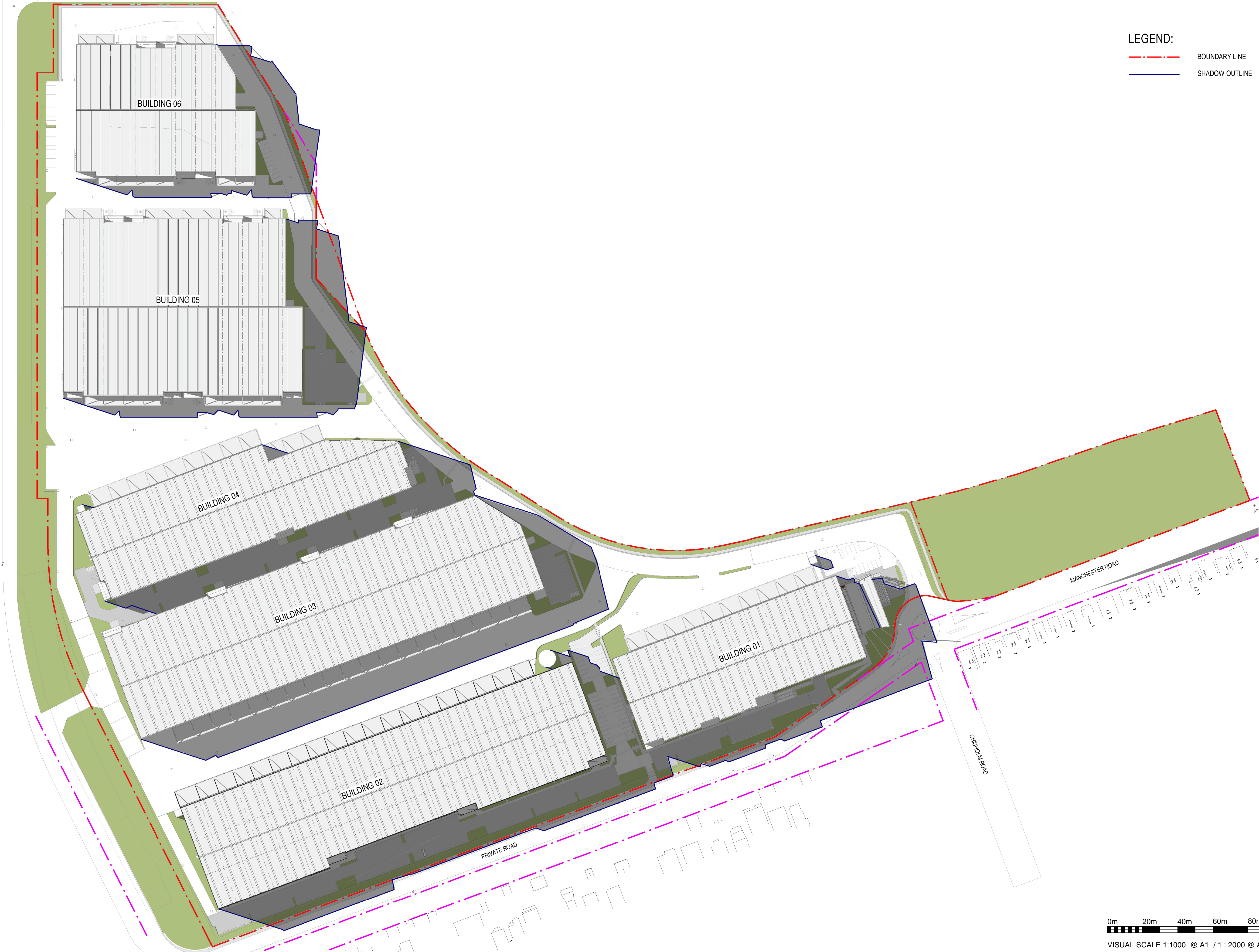
LEGEND:

---

BOUNDARY LINE

---

SHADOW OUTLINE



Commercial Industrial Residential Retail Interior Design  
Phone: 02 9221 1100 Web: www.sbaarch.com.au

B DA ISSUE  
A PRELIMINARY ISSUE  
# DESCRIPTION

03/10/2019  
02/10/2019  
DATE

CLIENT

**PROPOSED INDUSTRIAL FACILITY**

300 MANCHESTER ROAD, AUBURN

THESE DESIGNS, PLANS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ARCHITECT AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE.  
FOURD DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON SITE.  
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED & ISSUED FOR CONSTRUCTION.

TITLE  
**SHADOW DIAGRAM - 3PM 21st JUNE**

DATE	SCALE	PROJECT NO.	DWG NO.	REVISION
03/10/2019	1:1000 @ A1 1:2000 @ A3	18164	MP13	B